



SNEH PARK

LUXURIOUS 2 & 3 BHK FLATS

ABOUT US



Connecting
Generations ...
Building Values!

AR **Associated Recons**

Associated Recons started in 2014 as a modest yet strong, consistent, multi-faceted, multi-disciplinary organization, committed to customer satisfaction.

We have always banked on innovation, teamwork, high degree of technical expertise and maintaining the highest standards of business practice.

Some highlights of our organization

An enviable track record of on-time delivery of projects.

An experienced technical team comprising of experienced civil engineers, architects, finance and legal experts.

Survived and delivered projects in Covid times and are here to stay with 7 projects already in pipeline in good locations like Dahanukar Colony, Karvenagar, Mayur colony, Law College Road.

An collective experience of more than 100+ years.

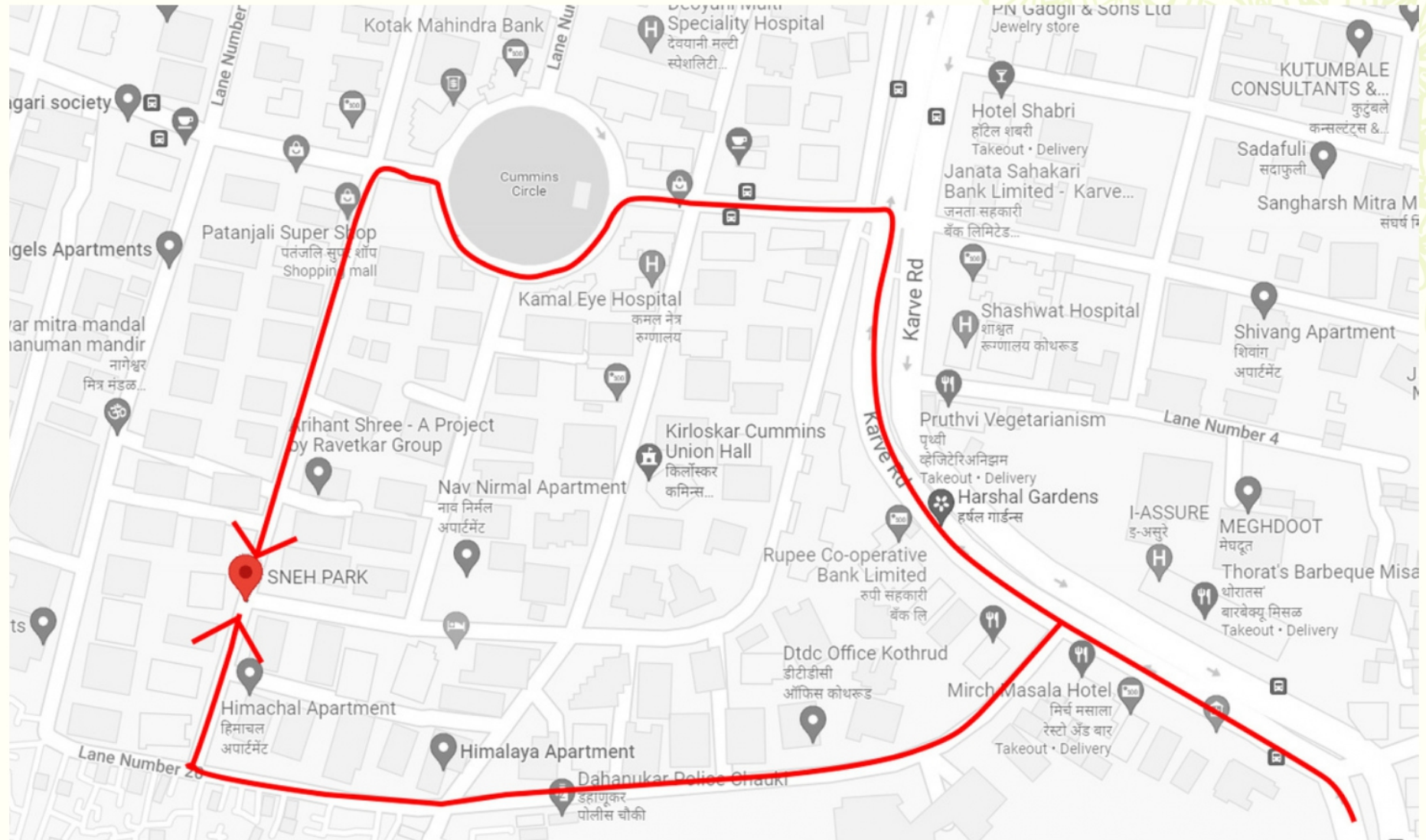
We are also experts in Green Building, Our last project 'SAROJ' was awarded the 'PLATINUM' rating by the IGBC, India.

MAHA RERA Reg No.
P52100027499

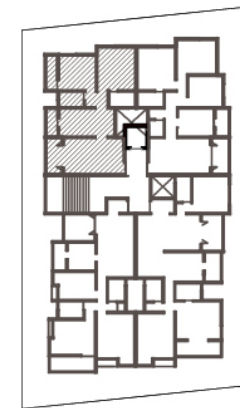


Artistic Impression

Location



2 BEDROOM APARTMENT- TYPE I



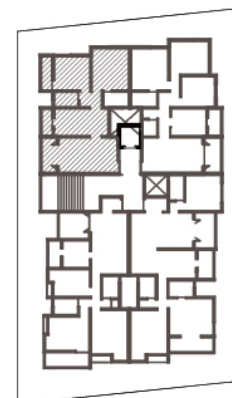
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FLOOR	FLAT NO	CARPET AREA	
FIRST FLOOR	101	797 SQ.FT	

*Disclaimer: The content in the floor plan are purely conceptual and not for legal offering. Dimensions mentioned on the plan are subjected to change as per the construction complexities and requirements.

2 BEDROOM APARTMENT- TYPE II



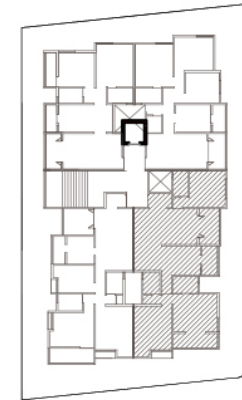
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FLOOR	FLAT NO	CARPET AREA	
TYPICAL FLOOR 4TH,5TH AND 6TH	401,501,601	813 SQ.FT	

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3 BEDROOM APARTMENT- TYPE -I



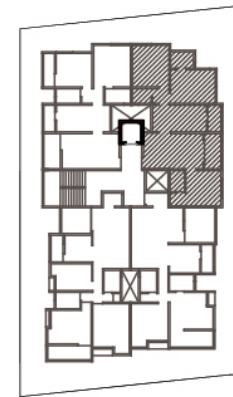
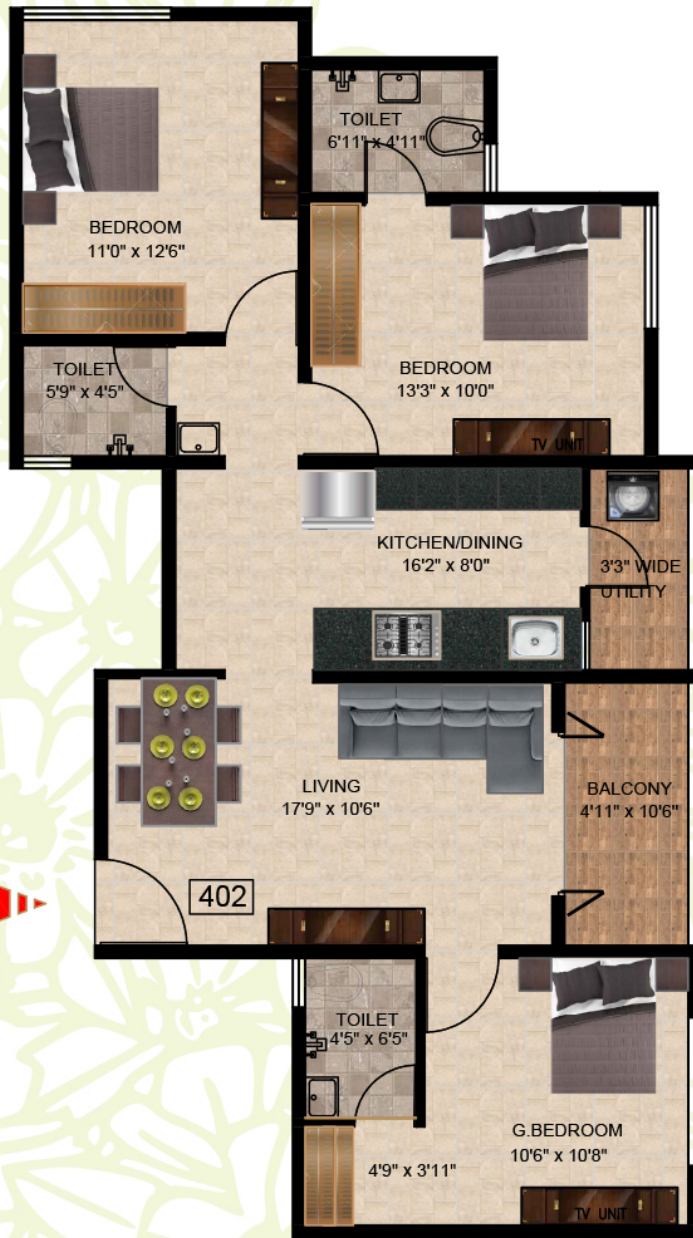
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FLOOR	FLAT NO	CARPET AREA	
TYPICAL FLOOR (3RD,5TH)	303,503	1150 SQ.FT	

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3 BEDROOM APARTMENT- TYPE -II



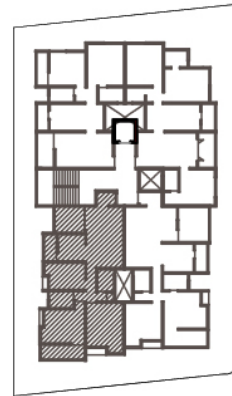
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FLOOR	FLAT NO	CARPET AREA	
4RTH FLOOR	402	957 SQ.FT	

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3 BEDROOM APARTMENT- TYPE -III



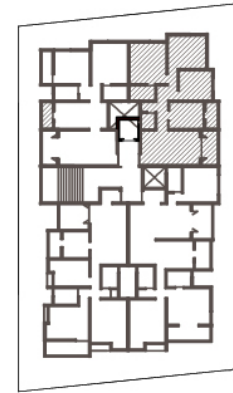
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FLOOR	FLAT NO	CARPET AREA	
5TH FLOOR	504	984 SQ.FT	

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2.5 BEDROOM APARTMENT



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FLOOR	FLAT NO	CARPET AREA
TYPICAL FLOOR 5TH AND 6TH	502,602	886 SQ.FT



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SPECIFICATIONS

Internal Specifications

Walls

- 6" thick masonry external and 4" thick internal walls
- Neeru finished quality internal plaster and sand faced plaster externally

Electrical

- Concealed electrical points with copper wiring.
- TV and telephone points in living and master bedroom
- AC point in master bedroom and living room
- Exhaust fan points in kitchen and toilets

Painting

- Apex paint externally and luster or equivalent internally

Flooring

- Vitrified flooring in all rooms
- Black granite kitchen top with SS sink of branded make.
- Anti skid flooring in terrace and toilets

Individual Flat Features

- Video door phones
- Solar connection in Master bathroom
- Grill for windows with mosquito mesh
- Branded CP and Sanitary fittings
- Electrical switches of branded make
- Provision for inverter
- Maindoor and internal door with laminate on both sides with branded locks.
- Well designed utility area

- Rainwater Harvesting
- Fire fighting system
- CCTV Camera coverage for common areas
- Decorative designed name plates at entrance lobby
- Elegant Entrance lobby
- Multi level parking
- Generator backup for common utility and lifts
- Modern Lift

Let's Talk

CREDITS
Architects
A design studio

RCC consultant
JRCC

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